



GRAHAM BROOKS
AND ASSOCIATES

ARCHITECTS
PLANNERS AND
HERITAGE
CONSULTANTS

DRAFT

Policeman's Cottage - Reservoir Road, Prospect

Fabric Analysis & Schedule of Conservation Works



October 2013

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



1.0 INTRODUCTION

This Fabric Analysis and Schedule of Conservation Works has been prepared in response to project approval MP 10_0190, for the development of the Wet n' Wild Theme Park, which is subject to the heritage related Statement of Commitments set out in in Schedule 5 of the approval, dated 8 December 2010, which relevantly states:

(5) HERITAGE

Items of heritage significance on the site are to be conserved.

- The building known as the Policeman's Cottage will be retained.

- The future refurbishment and adaptive re-use of the former Policeman's Cottage is to be subject to the following:

A comprehensive fabric analysis and schedule of conservation works prepared by an experienced conservation architect:

Graham Brooks, Director of Graham Brooks and Associates Pty Ltd, has reviewed and endorsed this report. This document describes the physical fabric of the former Policeman's Cottage and is intended as a general guide for the appropriate conservation of the place. Its purpose is not to remove the patina or the blemishes of age, nor to attain perfection of detail and finish. This schedule has been prepared on the basis of inspections carried out in September 2013, without full access equipment and only minor intervention in the fabric. Although the interior of the property was vacant, some floors were covered and in some cases rooms contained built-in furniture that prevented full inspection. The inspection did not cover building services, appliances and fittings, or compliance with the building regulations. This report is not intended to describe the works fully for the purposes of obtaining quotations. It is a general guide to the nature, approach and extent of work likely to be required, and will need to be accompanied by a detailed specification for the works prepared by specialist contractors with proven experience working with traditional materials. The specification should be prepared in consultation with a qualified heritage consultant once the future use of the place has been established.

Because a full inspection was not possible and because the condition of the building may have changed between the time it was inspected and the time conservation and repair works are carried out, any building documentation prepared using this schedule should contain a provision to review the extent and nature of the works after opening up, and any cost estimate based on this schedule should contain a substantial contingency provision for the preparation of specifications and additional work.

The proposed conservation work contained in this report has been determined with the aim of maintaining and conserving the existing fabric of the cottage, until such time as a new use can be found for the building. At this time the scope of potential conservation works should be reviewed in light of proposed changes to the place occasioned by the new use.

1.1 Heritage Significance

The subject site is not listed as a heritage item in any statutory instrument. The Policeman's Cottage was identified by Blacktown City Council as a draft heritage item but the building was not formally listed and gazetted. Under the existing leasing agreement, Prospect Aquatic Investments is committed to maintaining this building.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



The following description has been sourced from the *Heritage Impact Statement (HIS)* dated September 2011 prepared by Graham Brooks and Associates to accompany a Part 3A application for the development of the wider site on Reservoir Road, Prospect, for recreational purposes.

The former police cottage is a symmetrical single storey weatherboard dwelling with a steep, pyramidal hipped roof in galvanised iron, and featuring dormer windows, square brick chimney, finial and bargeboards. In its original form, the cottage had a wraparound verandah; this has been partially enclosed at an unknown date but retains the original timber verandah posts on at least one elevation. Typically, the verandah openings have been fitted with aluminium framed windows and modern security screen door, although there are some extant timber sash windows. At the time of inspection, much of the building exterior was obscured by a well-established bougainvillea [sic] which overshadows the cottage.

In its immediate vicinity is the typical residential accoutrements of hills hoist, outdoor w.c and fencing. Visually, the location of the cottage is distinctive within the site context, owing to the mature Norfolk Island pine trees that frame the curtilage of the police cottage.

Internally, the building shows evidence of prolonged neglect. The internal room arrangement displays a simple vernacular layout and detailing, while part of the verandah has been enclosed as a kitchen. Bathroom/laundry fabric and internal fitouts generally are not original and in poor condition. At an unknown date, possibly during the second half of the twentieth century, the building was adapted for use as a number of small flatettes.

By September of 2013 the aluminium verandah screens and security door had been removed, as had the bougainvillea, allowing a closer inspection of the eastern elevation and the remnant verandah joinery.

1.2 Conservation Philosophy

- All work should be undertaken in accordance with the principles of *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 1999*.
- All work to the original fabric of the place, where it remains, should involve the least possible physical intervention.
- All new work should be reversible and be understood as new on close inspection.
- The conservation and long term maintenance of the building should be based on a respect for the existing original fabric.
- Conservation requires a cautious approach of changing as much as necessary but as little as possible.
- Traditional techniques and materials are preferred for the conservation of significant fabric. In some circumstances modern techniques and materials which offer substantial conservation benefits may be appropriate.
- The use of modern materials and techniques must be supported by firm scientific evidence or by a body of experience.
- All original fabric is to be conserved in accordance with relevant NSW Heritage Council guidelines.

Competent direction and supervision should be maintained at all stages, and any conservation work to original fabric should be implemented by tradespeople with appropriate conservation experience and knowledge of traditional building skills. Any proposed intervention into original fabric should be approved by the Site Manager. Where any original fabric or spaces are to be disturbed, the advice of a heritage consultant is to be sought and implemented.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



2.0 GENERAL CONSERVATION APPROACH

2.1 Investigation:

There are a number of specific investigations that should be carried out as part of the overall conservation works to provide a sound basis for making decisions regarding the final extent and scope of conservation works. This information is also required for the ongoing protection of the building as part of any maintenance considerations. These are identified below:

- The place should be inspected by a suitably qualified structural engineer and their recommendations implemented.
- The place should be inspected by a suitably qualified pest inspector and their recommendations implemented.
- The site and roof/building drainage should be comprehensively inspected by a suitably qualified roof plumber and their recommendations implemented.
- A contamination report should be prepared to identify any materials which should be handled to meet appropriate building codes and standards. The report should include methodologies for the handling of any identified contaminated materials.

2.2 Care should be taken:

Any time where work is being undertaken in the vicinity of original or early fabric, care should be taken to keep a watchful eye out for original fabric or detailing that has been obscured by later works. Care should also be taken to avoid causing damage to obscured original fabric during any stripping out works.

Should original or early fabric be uncovered, a Heritage Consultant should be notified immediately to confirm further action.

Care must be taken when the existing non significant floor coverings, internal linings, bathroom fitouts etc are being removed in the event that remnant original fabric is extant. Any extant evidence should be sighted by a Heritage Consultant and photographed. Any remaining evidence should inform future works to the place, which may include reconstruction.

2.3 Approach to Services:

At the time of writing all services had been decommissioned.

- New penetrations or fixings to original or early fabric, external or internal, should be minimised.
- All new services/structures are to be surface mounted if possible, rather than chased-in to existing walls or structure, to minimise impact on heritage fabric.
- External and internal redundant fixing points should be appropriately patched, according to the surface type, and made good.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



2.4 Minimum Works and Future Uses:

The former Policeman's Cottage has been vacant for an extended period of time. This fabric analysis is a record of the various building elements and their condition at the time of writing and the schedule of conservation works sets out works required to protect the existing fabric of the building until such time as a new use can be established.

This report does not contemplate works associated with a specific use or returning the building to an earlier form, rather they are aimed at retaining existing fabric from a range of modifications that have been made to the building over time.

The works associated with protecting the building from loss, until such time as a new use is established, are all considered minimum works.

These include:

- Regular pest inspections - to avoid unchecked insect damage.
- Inspection by a structural engineer to check footings and building structure, including the stability of the chimney - to avoid accelerated loss of fabric.
- Repairs to the roof and stormwater system - to weatherproof the building.
- Reconstruction of the verandah roof and structure - to provide protection and to avoid accelerated loss of fabric.
- Providing a window, or some form of protection, to the dormer window opening - to provide weather protection.
- Clearing around the building - to avoid opportunities for insect infestation and water damage.
- Provision of adequate physical security - to avoid loss of fabric through theft and or vandalism.

Following the establishment of a new use for the building this conservation schedule of works would inform a proposal for a specific scope of works.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect

October 2013



Aerial view showing the location of the Policeman's Cottage (marked by the red arrow) with the Wet n' Wild development site.



Aerial view of the Policeman's Cottage.

Aerial images

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



Figure 1: Eastern elevation.



Figure 2: Northern elevation.



Figure 3: South eastern corner.



Figure 4: Western elevation.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



Figure 5: Space 2, looking towards Space 1.



Figure 6: View across Space 1 towards Space 2.



Figure 7: View south across Space 3.



Figure 8: View into Space 4 from Space 3.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



Figure 9: Looking south across Space 7.



Figure 10: Space 5 - Fibre cement sheeting cladding the walls of Space 5.



Figure 11: View through doorway of Space 6 across Space 5.



Figure 12: Space 8 - Bathroom 2.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



Figure 13: Detail showing exposed edge of earlier timber shingle roof.



Figure 14: Looking up at the hand sawn timber framing of the main roof.



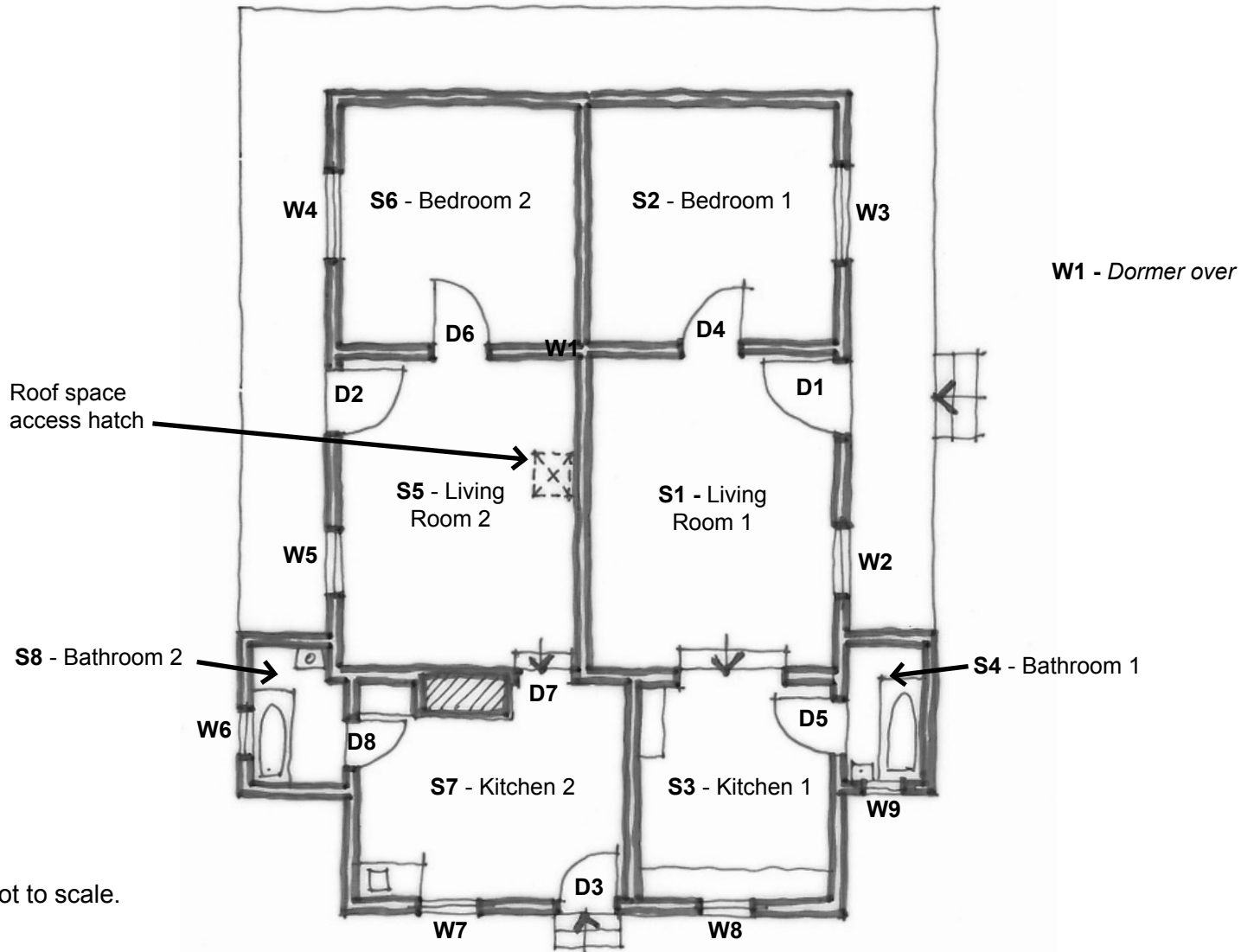
Figure 15: View of the uncut timber framing forming up the dormer roof.



Figure 16: Space 7 - View of the earlier timber lined ceiling below the later ceiling lining.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



Floor Plan Not to scale.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



EXTERNAL WORKS

Building Element	Description	Condition	Conservation Works
Garden	The surrounding garden was not maintained at the time of writing.	Unkempt	<ul style="list-style-type: none"> Grass in the surrounding garden should be regularly mown. Any built up garden areas against the building and verandahs, specifically footings and any timber elements, should be cleared to reduce the potential for insect infestation or for timbers to have prolonged contact with water or dampness. Consideration should be given to fencing the site for physical security.
Footings	Brickwork pillars supporting timber floor structure. Some of the pillars are sitting crookedly and some ant caps have been damaged.	Fair/poor	<ul style="list-style-type: none"> To be inspected by an engineer to confirm structural integrity. The engineer is to specify minimum required works. Any evidence of imminent failure is to be promptly rectified to avoid loss of fabric. Allow to straighten any pillars in danger of collapse. Allow to repoint pillars where required to ensure structural adequacy. Ensure all ant caps remain effective and can't be breeched. Bent or damaged caps to be straightened or replaced.
Front steps	Free standing concrete steps to the verandah on the eastern elevation.	Fair/poor	<ul style="list-style-type: none"> To be retained if safe to use; check level and stability after clearing of surrounding undergrowth. If condition of concrete steps found to be unsafe, they may be replaced with either timber, brick or concrete replacement steps.
External walls	Timber wall framing.	Not inspected	<ul style="list-style-type: none"> When any work is done to the external cladding allow to check condition of supporting timber framing.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



EXTERNAL WORKS

Building Element	Description	Condition	Conservation Works
External walls con't.	Timber weatherboards, painted.	Fair	<ul style="list-style-type: none"> Allow to repair any missing or badly damaged weatherboards to ensure cladding continues to protect the building. New weatherboards are to match the existing surrounding boards in terms of material, hardness, dimension and profile. Weatherboards should be repainted for protection using an appropriate paint system. All timber patching, filling and undercoating is to follow appropriate manufacturers' recommendations.
	Fibre cement wall sheeting, including cover battens, painted.	Poor/badly vandalised	<ul style="list-style-type: none"> Allow to replace broken and damaged fibre cement sheeting, including damaged or missing cover battens, with similar material. Any flashings are to be repaired or reinstated.
	Metal louvred wall vents.	Fair	<ul style="list-style-type: none"> Ensure that all metal wall vents are securely fastened. Ensure that the vents aren't blocked up. These elements may be painted.
Dormer window - W1	Framed in hand hewn members, external timber weatherboards (set on the diagonal), corrugated iron roofing (no shingles evident, however batten spaces indicates earlier shingle roof has been removed), timber casement window sash framing (glass missing).	Fair/poor	<ul style="list-style-type: none"> This window is currently open to the elements. As a matter of urgency, the window should be repaired or carefully boarded up to prevent further deterioration or loss of fabric. The dormer structure should be inspected to check for insect infestation. Allow to repair dormer roof flashings to ensure weather protection to the roof space. Repair weathered timber cladding, including any missing trims and flashings. Replacement trims and flashings are to match the existing in terms of material, hardness, dimension and profile. Allow to install new glazing to the dormer window.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



EXTERNAL WORKS			
Building Element	Description	Condition	Conservation Works
Other doors and windows	For ground floor doors and windows, refer to individual spaces descriptions and conservation works.		
Verandah structure	<p>Sawn timber posts, beams, rafters and top plates. Some verandah framing members are missing.</p> <p>Protective paint finish has generally completely weathered away.</p>	Fair/poor/missing	<ul style="list-style-type: none"> All existing timber verandah elements in fair condition are to be retained. Check that all connections are sound. Reconstruction of missing elements and repairs to damaged elements are to match existing in timber type, hardness, dimension, profile and fixing method. All timber verandah elements should be repainted for protection using an appropriate paint system. All timber patching, filling and undercoating is to follow appropriate manufacturers' recommendations.
Verandah flooring	<p>Timber verandah boards, unfinished, laid with gaps on a timber structure.</p> <p>Concrete slab (western verandah).</p>	Fair	<ul style="list-style-type: none"> Retain all boards in good condition. Where replacement boards are required they are to match the existing in terms of timber type, hardness, suitability for the external exposure, dimension, profile and fixing method. Ensure the concrete slab has sufficient falls to effectively carry water away from the building. Any areas of loose or friable concrete surface should be removed and carefully patched to avoid trip hazards.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



EXTERNAL WORKS

Building Element	Description	Condition	Conservation Works
Roof structure	<p>Hand hewn timber structure</p> <p>Note: evidence of earlier insect infestation damage to the vertical timber elements.</p> <p>Space between ceiling joists filled with fibreglass insulation.</p>	Fair	<ul style="list-style-type: none"> To be inspected by a structural engineer for structural integrity. The roof space is not to be used for storage, or to have any additional loads placed on it, with the exception of storing remnant ceiling lining boards from <i>Space 7 - Kitchen 2</i>. It is not acceptable to remove or alter these elements in any circumstance. Access to the roof is via small access hatch in the ceiling of <i>Space 5 - Living Room 2</i>. Insulation may be retained if desired.
Roof cladding	<p>Timber shingle roofing and support battens (underside viewed from the roofspace).</p>	Fair	<ul style="list-style-type: none"> All timber shingles and associated battens are to be retained and protected under the later corrugated iron roof. It is not acceptable to remove, alter or paint these elements in any circumstance.
	<p>Later corrugated iron roofing, including hip and ridge flashings. Some areas, particularly to the western verandah, have almost collapsed.</p>	Fair/poor	<ul style="list-style-type: none"> Corrugated iron roof, including verandah and all flashings are to be repaired, and replaced as necessary, to protect the building fabric. Missing roof sheeting to be replaced using a corrugated iron that matches the existing in terms of corrugation profile and metal type, thickness and finish. Whatever structural repairs are required to provide a sound roof covering should be included as minimum works. It is not acceptable to use an aluminium coated product.
Fascia	<p>Remnant timber fascia and gable weatherboards, painted.</p>	Poor	<ul style="list-style-type: none"> Allow to retain as much original timber fabric as possible. Any repairs are to match the existing in terms of timber type, hardness, dimension, profile and fixing method. Repair and repaint.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



EXTERNAL WORKS

Building Element	Description	Condition	Conservation Works
Rainwater goods	Later galvanised iron gutters, quad profile. Most downpipes missing.	Poor/missing	<ul style="list-style-type: none"> • Allow to provide new gutters where missing or are in poor condition. • Allow to provide round downpipes where missing. • All new gutters and down pipes are to be compatible with a galvanised iron roof. • These items may be painted using a product appropriate for painting metals. • New downpipes should be connected to a stormwater system. Alternatively, where there is no stormwater mains to connect to, downpipes should spill onto the ground where it has been modified to support quick and efficient runoff of stormwater away from the building. • Take care that all rainwater goods are compatible with adjoining metals and are not adversely affected by cathodic deterioration.
Chimney	<p>Brickwork chimney, former paint surface has substantially weathered away.</p> <p>Mortar joints weathered, evidence of organic growth suggesting brickwork at top of the chimney retaining water.</p> <p>Galvanised pipe in lieu of chimney pot.</p>	Fair/poor	<ul style="list-style-type: none"> • A structural engineer is to check for structural stability to avoid loss of fabric (including the condition of the supporting chimney breast and fireplace below). • Ensure chimney is neatly capped to avoid water entering the building. • Metal pipe may be removed if necessary to properly flash the chimney. • Allow to repoint areas where mortar has weathered away. Mortar is to match existing in terms of colour, material, aggregate size and struck profile. • Clean the brickwork once repair works have been completed, including a biocide that will inhibit organic growth such as mosses and lichens. Allow to use a product specifically designed for this purpose and follow the manufacturers instructions. • Do not render or re-paint the brickwork chimney.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 1 - Living Room 1

Building Element	Description	Condition	Conservation Works
Ceiling	Painted fibre cement sheet.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Cornice	Painted square profile timber trim.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Wall	Painted fibre cement sheeting, cover batten strips as required.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint. Later paper skirting and cornice trims may be removed. All later fittings, such as shelving and curtain rods, may be removed and the fixing holes patched.
Skirting	Painted timber, nom 75mm high, simply curved edge profile.	Fair	<ul style="list-style-type: none"> Repair and repaint.
Door - D1	Painted timber, five panel front door, central panel glazed, bolection moulds to external face.	Fair/poor	<ul style="list-style-type: none"> To be retained and repainted. Do not remove or relocate. Retain original hardware. Where required, new hardware is to be complementary to the architectural character of the door and the scale of the cottage. Ideally, an appropriate centre door knob may be installed.
Window - W2	Window externally sheeted over in iron. Painted timber casement window. Window lock painted over, other later hardware.	Fair	<ul style="list-style-type: none"> Protective sheeting may be retained until such time as a new use for the place is established, following which: <ul style="list-style-type: none"> Carry out works to make the window operational, including new sash cords if required. Remove any redundant or unsympathetic hardware and replace with sympathetic hardware as required. Replace any broken glazing with glass panes which match the original in thickness, reflectivity and colour. Patch and repaint.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL Space 1 - Living Room 1

Building Element	Description	Condition	Conservation Works
Architraves	Painted timber, nom 100mm wide.	Poor	<ul style="list-style-type: none">• May be removed and replaced with new to match the existing in terms of material, profile and finish.
Floor	Later carpet over timber floorboards and steps into <i>Space 3 - Kitchen 1</i> . Floorboards.	Poor Not viewed	<ul style="list-style-type: none">• Carpet may be retained or removed.• Timber floorboards may be exposed and sanded and polished if desired.• It is not acceptable to remove the timber floor boards.• Alternatively a new floor covering may be installed, such as carpet or linoleum over the floorboards.

DRAFT

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 2 - Bedroom 1

Building Element	Description	Condition	Conservation Works
Ceiling	Painted fibre cement sheet.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Cornice	Painted square profile timber trim.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Wall	Painted fibre cement sheeting, cover batten strips as required.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint. Any later fittings, or redundant services, may be removed and the fixing holes patched.
Skirting	Painted timber, nom 75mm high, simply curved edge profile.	Fair	<ul style="list-style-type: none"> Repair and repaint.
Door - D4	Single, flush panel hollow core door. Chrome lever handle.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Window - W3	<p>Window sheeted over in iron with reinforcing used as a form of security bars.</p> <p>Painted timber casement window. Window lock painted over, other later hardware.</p>	Fair	<ul style="list-style-type: none"> Protective sheeting and security bars may be retained until such time as a new use for the place is established. Carry out works to make the window operational, including new sash cords if required. Remove any redundant or unsympathetic hardware. Replace any broken glazing with glass panes which match the original in thickness, reflectivity and colour. Repair and repaint.
Architraves	Painted timber, nom 100mm wide.	Poor	<ul style="list-style-type: none"> Repair and repaint.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 2 - Bedroom 1

Building Element	Description	Condition	Conservation Works
Floor	Later carpet over timber floorboards. Floorboards.	Poor Not viewed	<ul style="list-style-type: none">• Carpet may be retained or removed.• Timber floorboards may be exposed and sanded and polished if desired.• It is not acceptable to remove the timber floor boards.• Alternatively, a new floor covering may be installed, such as carpet or linoleum over the floorboards.

DRAFT

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 3 - Kitchen 1

Building Element	Description	Condition	Conservation Works
Ceiling	Painted fibre cement sheet.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Cornice	Painted square profile timber trim.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint. Any new timber trims required for repair are to match the existing in terms of timber type, dimension, profile and fixing method.
Wall	Painted fibre cement sheeting, cover batten strips.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Skirting	Painted timber, nom 75mm high, simply curved edge profile.	Fair	<ul style="list-style-type: none"> Repair and repaint. Any new timber trims required for repair are to match the existing in terms of timber type, dimension, profile and fixing method.
Door - D5	See <i>Space 3 - Bathroom 1</i>		
Window - W8	<p>Window sheeted over in iron with reinforcing used as a form of security bars.</p> <p>Aluminium sliding window.</p>	Poor	<ul style="list-style-type: none"> Protective sheeting and security bars may be retained until such time as a new use for the place is established. Carry out works to make the window operational. Remove any redundant or unsympathetic hardware. Replace any broken glazing with glass panes which match the original in thickness, reflectivity and colour. Do not paint aluminium sections.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 3 - Kitchen 1

Building Element	Description	Condition	Conservation Works
Architraves	Painted timber, nom 100mm wide. Evidence of water damage, particularly around W8.	Poor	<ul style="list-style-type: none">• Halt any further water entry to avoid ongoing damage. Check flashings.• May be removed and replaced with new to match in material, profile and finish.• Repair and repaint.
Floor	Later linoleum over timber floorboards.	Poor	<ul style="list-style-type: none">• Linoleum may be retained or removed.• Do not remove the timber floorboards; these may be sanded and polished if desired.
Other	Kitchen cabinetry, melamine construction with faux timber laminex finish.	Poor/ dilapidated	<ul style="list-style-type: none">• Remove and make good any damage to the walls caused by cupboard and bench installation.• New cabinetry may be installed if desired.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 4 - Bathroom 1

Building Element	Description	Condition	Conservation Works
Ceiling	Raked fibre cement sheet fixed to underside of rafters, painted.	Fair/poor	<ul style="list-style-type: none">• Repair and repaint.
Cornice	Small square profile timber trim, painted.	Fair/poor	<ul style="list-style-type: none">• Repair and repaint.• Any new timber trims required for repair are to match the existing in terms of timber type, dimension, profile and fixing method.
Wall	Painted fibre cement sheeting, cover batten strips. A large hole has been knocked out of the fibre cement sheeting on the eastern elevation.	Fair/poor	<ul style="list-style-type: none">• Repair hole in wall to prevent weather and unauthorised entry.• Repair and repaint.
Skirting	Painted timber, nom 75mm high, simply curved edge profile.	Fair	<ul style="list-style-type: none">• Repair and repaint.• Any new timber trims required for repair are to match the existing in terms of timber type, dimension, profile and fixing method.
Door - D5	Single, flush panel hollow core door. Chrome lever handle.	Fair/poor	<ul style="list-style-type: none">• May be retained or removed.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL Space 4 - Bathroom 1

Building Element	Description	Condition	Conservation Works
Window - W9	Window sheeted over in metal deck. Timber framed casement window, painted.	Poor/damaged	<ul style="list-style-type: none"> Protective sheeting to be retained until such time as a new use for the place is established. Carry out works to make the window operational, including new sash cords if required. Remove any redundant or unsympathetic hardware. Replace any broken glazing with glass panes which match the original in thickness, reflectivity and colour. Repair and repaint.
Architraves	Painted timber, nom 100mm wide. Missing timber and evidence of damage, particularly around head of W8.	Poor	<ul style="list-style-type: none"> Halt any further water entry to avoid ongoing damage. Check flashings. May be removed and replaced with new to match in material, profile and finish. Repair and repaint.
Floor	Later carpet tiles over timber floorboards. Timber framed steps leading from Space 3 - Kitchen 1.	Poor	<ul style="list-style-type: none"> Carpet may be retained. Do not remove the timber floorboards; these may be patched, sanded and polished if desired. Make steps safe.
Bathroom fittings and fixtures	Bath, vanity with basin (dilapidated), wall cupboard with mirror front. Toilet and all tapware missing.	Poor	<ul style="list-style-type: none"> Make safe. To make this bathroom usable it will require a full refurbishment.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 5 - Living Room 2

Building Element	Description	Condition	Conservation Works
Ceiling	Painted fibre cement sheet. Small roof space access hatch against east wall. Timber frame and fibre cement.	Fair/poor	<ul style="list-style-type: none"> • Repair and repaint. • Retain access hatch.
Cornice	Small quad profile timber cornice, painted.	Fair/poor	<ul style="list-style-type: none"> • Repair and repaint. • Any new timber trims required for repair are to match the existing in terms of timber type, dimension, profile and fixing method.
Wall	Painted fibre cement sheeting, cover batten strips as required. Metal wall vents.	Fair/poor	<ul style="list-style-type: none"> • Repair and repaint. • Install new cover battens where missing to match existing. • All later fittings, such as curtain rods, may be removed and the fixing holes patched. • Ensure wall vents are securely fixed and unblocked. Treat for rust where required and repaint.
Skirting	Painted timber, nom 75mm high, simply curved edge profile.	Fair	<ul style="list-style-type: none"> • Repair and repaint.
Door - D2	Flush timber door, painted. A range of later hardware, including a modern rimlock and slide bar locks, installed.	Fair/poor	<ul style="list-style-type: none"> • Repair and repaint. • New hardware to be sympathetic to the scale of the cottage.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 5 - Living Room 2

Building Element	Description	Condition	Conservation Works
Window - W5	Window externally sheeted over in iron. Timber casement window, painted.	Fair	<ul style="list-style-type: none"> Protective sheeting may be retained until such time as a new use for the place is established, following which: Ensure the window is operational, including new sash cords if required. Remove any redundant or unsympathetic hardware. Replace any broken glazing with glass panes which match the original in thickness, reflectivity and colour. Repair and repaint.
Architraves	Painted timber, nom 100mm wide with curved edge. Architrave to W5 square timber, nom 120mm.	Poor	<ul style="list-style-type: none"> May be removed and replaced with new to match the existing in terms of material, dimension, profile and finish.
Floor	Later linoleum over timber floorboards and steps into <i>Space 7 - Kitchen</i> . In some areas, the timber floorboards have been replaced with sheets of composite board. Floorboards.	Poor Fair/poor	<ul style="list-style-type: none"> Linoleum may be retained or removed. Remnant timber floorboards may be exposed and sanded and polished if desired. Where missing, allow to replace composite board with floorboards which match in terms of material, hardness, dimension, finish and fixing method. It is not acceptable to remove existing timber floor boards. Alternatively a new floor covering may be installed, such as carpet or linoleum, over the existing floorboards and composite sheeting.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 6 - Bedroom 2

Building Element	Description	Condition	Conservation Works
Ceiling	Painted fibre cement sheet.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Cornice	Nom 15 by 75mm timber cornice, painted. Small painted quad moulding planted on upper edge of cornice.	Fair	<ul style="list-style-type: none"> Repair and repaint. Any new timber trims required for repair are to match the existing in terms of timber type, dimension, profile and fixing method.
Wall	Painted fibre cement sheeting, cover batten strips as required. Metal wall vents.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint. Install new cover battens where missing to match existing. All later fittings, such as curtain rods, may be removed and the fixing holes patched. Ensure wall vents are securely fixed and unblocked. Treat for rust where required and repaint.
Skirting	Painted timber, nom 75mm high, simply curved edge profile.	Fair	<ul style="list-style-type: none"> To be retained, repaired and repainted as part of any future works.
Door - D6	Flush timber door, painted. A range of later hardware, including a modern rimlock and slide bar locks, installed.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint. New hardware may be installed if required.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 6 - Bedroom 2

Building Element	Description	Condition	Conservation Works
Window - W4	Window externally sheeted over in iron. Timber casement window, painted.	Fair	<ul style="list-style-type: none"> Protective sheeting may be retained until such time as a new use for the place is established, following which: Ensure the window is operational, including new sash cords if required. Remove any redundant or unsympathetic hardware. Replace any broken glazing with glass panes which match the original in thickness, reflectivity and colour. Patch and repaint.
Architraves	Painted timber, nom 100mm wide with curved edge.	Poor	<ul style="list-style-type: none"> May be removed and replaced with new to match the existing in terms of material, profile and finish.
Floor	Later linoleum over timber floorboards. Floorboards.	Poor Not viewed	<ul style="list-style-type: none"> Linoleum may be retained or removed. Remnant timber floorboards may be exposed and sanded and polished if desired. It is not acceptable to remove existing timber floor boards. Alternatively a new floor covering may be installed, such as carpet or linoleum, over the existing floorboards and composite sheeting.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 7 - Kitchen 2

Building Element	Description	Condition	Conservation Works
Ceiling	Painted fibre cement sheet, including battens, over earlier beaded timber ceiling lining. A portion of this ceiling has substantially collapsed.	Poor/collapsed	<ul style="list-style-type: none"> Repair works include making good the collapsed ceiling to protect the building from accelerated loss of fabric. Allow to salvage the early timber ceiling lining boards and store in the roof space. Allow to carefully stack the timber in the roof space to avoid a point load. Also, provide spacers so that the timber boards remain well ventilated.
Cornice	Timber quad moulding, painted.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Wall	Painted fibre cement sheeting, cover batten strips.	Poor	<ul style="list-style-type: none"> Repair and repaint.
	Built in timber shelving (built into the space beside the chimney).	Poor	<ul style="list-style-type: none"> Repair and repaint if desired.
	Fibre cement sheet infill panel covering the fireplace, including timber surround.	Poor	<ul style="list-style-type: none"> This panel may be removed to uncover the brick fireplace. Repair and repaint.
	Metal wall vents	Poor	<ul style="list-style-type: none"> Ensure wall vents are securely fixed and unblocked. Treat for rust where required and repaint.
Skirting	Nom 150mm high painted timber skirting with splayed edge.	Fair	<ul style="list-style-type: none"> Retain, repair and repaint. If repairs require new skirting elements, allow to match existing in timber type, hardness, dimension, profile and finish.
Door - D3	External four panel timber door, upper panel glazed, paint finish. Later rimlock and push bolt to upper part of door.	Fair/poor	<ul style="list-style-type: none"> Retain, repair and repaint. Allow to make existing lock operable if possible, otherwise provide sympathetic new hardware.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 7 - Kitchen 2

Building Element	Description	Condition	Conservation Works
Window - W7	Metal deck sheeting over window. Aluminium sliding window.	Poor	<ul style="list-style-type: none"> Protective sheeting may be retained until such time as a new use for the place is established. If desired, carry out works to make the window operational. Remove any redundant or unsympathetic hardware. Replace any broken glazing with glass panes which match the original in thickness, reflectivity and colour. Do not paint aluminium sections.
Architraves	Painted timber, nom 100mm wide.	Poor	<ul style="list-style-type: none"> Repair and paint.
Floor	Later linoleum (two layers) over timber floorboards.	Poor	<ul style="list-style-type: none"> Linoleum may be removed. Do not remove the timber floorboards, these may be sanded and polished if desired in the context of a new use. Allow to repair timber at threshold to Doors D3 and D7.
Other	Kitchen cabinets and small wall mounted shelves. (Kitchen cabinet supports the sink and drainer unit.)	Poor/ dilapidated	<ul style="list-style-type: none"> May be retained or removed.
	Early corner sink and drainer unit with upstand to wall.	Fair	<ul style="list-style-type: none"> Ideally should be protected and retained for re-use in the building following the establishment of a new use.
	Tapware over sink.	Fair	<ul style="list-style-type: none"> Tap and spout should be retained for potential re-use along with the sink unit. Allow to rechrome as part of any future refit.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 8 - Bathroom 2

Building Element	Description	Condition	Conservation Works
Ceiling	Raked fibre cement sheet fixed to underside of rafters, painted.	Poor	<ul style="list-style-type: none"> Repair and repaint.
Cornice	Single length of coved cornice to western wall, painted. Painted battens elsewhere.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Wall	Painted fibre cement sheeting, cover batten strips. Faux tiled wall sheeting behind bath.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint. Retain or remove
Skirting	Painted timber, nom 75mm high, splayed profile.	Fair	<ul style="list-style-type: none"> Repair and repaint. Any new timber trims required for repair are to match the existing in terms of timber type, dimension, profile and fixing method.
Door - D8	Single, flush panel hollow core door leaf. Chrome lever handle.	Fair/poor	<ul style="list-style-type: none"> Repair and repaint.
Window - W6	Window sheeted over in metal deck. Timber casement window, painted. Original sash lock in place, painted over.	Poor/damaged	<ul style="list-style-type: none"> Protective sheeting to be retained until such time as a new use for the place is established. Retain sash lock; as part of future works allow to strip paint off original hardware and make operational.
Architraves	Painted timber, nom 100mm wide.	Poor	<ul style="list-style-type: none"> Repair and paint.

FABRIC ANALYSIS & SCHEDULE OF CONSERVATION WORKS

former Policeman's Cottage, Reservoir Road, Prospect
October 2013



INTERNAL

Space 8 - Bathroom 2

Building Element	Description	Condition	Conservation Works
Floor	Later tile pattern linoleum over timber floorboards.	Poor	<ul style="list-style-type: none">• Linoleum may be removed.• If floorboards beneath, do not remove, these may be sanded and polished if desired in the context of a new use.
Bathroom fittings	Bath and wall mounted basin. Tapware has been retained. Toilet has been removed.	Poor	<ul style="list-style-type: none">• Make safe.• To make this bathroom usable it will require a full refurbishment.

DRAFT